

GENERAL NOTES

IT SHALL BE THE RESPONSIBILITY OF THE EMPLOYER/PROPERTY OWNER TO ENSURE THAT THE PROPOSED WORKS DO NOT CONFLICT WITH ANY RESTRICTIONS OR COVENANTS IN THE DEEDS TO THE PROPERTY PRIOR TO WORKS COMMENCING ON SITE. ADVICE FROM A LEGAL AUTHORITY MAY BE REQUIRED. OWNER TO CLARIFY.

FIGURED DIMENSIONS TO BE USED IN PREFERENCE TO SCALED DIMENSIONS.

THIS DRAWING TO BE READ WITH ALL RELATED DESIGNER'S AND STRUCTURAL ENGINEERS DRAWINGS AND OTHER RELATED MATERIAL.

REPORT ALL DISCREPANCIES TO THE CONTRACT ADMINISTRATOR IMMEDIATELY.

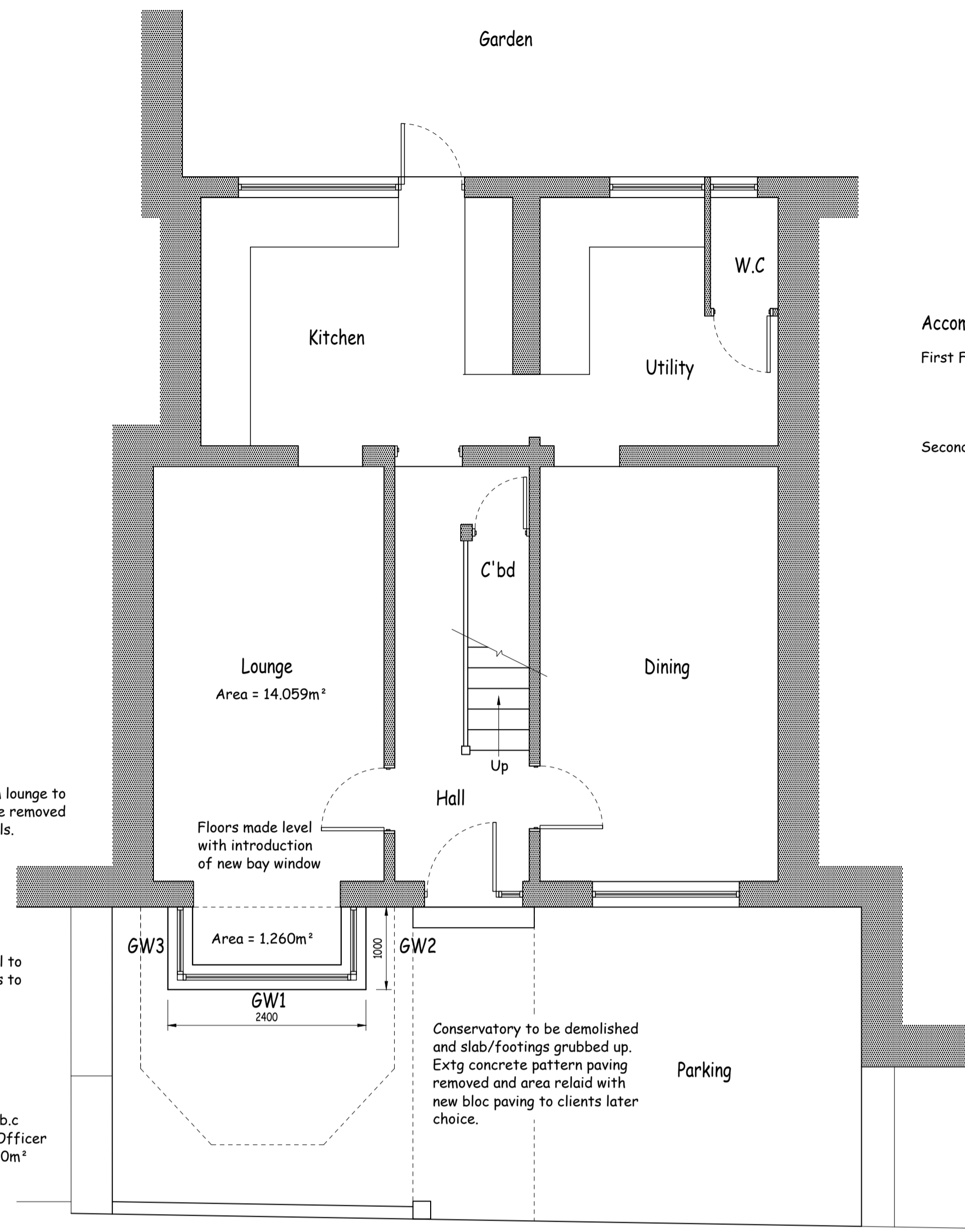
ALL DIMENSIONS TO BE VERIFIED ON SITE BY THE CONTRACTOR BEFORE COMMENCEMENT OF ANY SHOP DRAWINGS OR WORK WHATSOEVER, EITHER ON HIS OWN BEHALF OR THAT OF THE SUB-CONTRACTORS OR SUPPLIERS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL WORK IS CARRIED OUT IN ACCORDANCE WITH ALL STATUTORY REQUIREMENTS AND REGULATIONS.

ALL MATERIALS TO BE TO THE LATEST BRITISH STANDARD OR HAVE AN AGREEMENT CERTIFICATE.

ASBESTOS SURVEY TO BE CARRIED OUT PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS. ALL RELEVANT MATERIALS REMOVED BY APPROVED BODIES AND APPROPRIATELY DISPOSED OF.

HSPC TO BE APPOINTED FOR ANY WORKS GREATER THAN 30 MAN DAYS OR 500 MAN HOURS.



Accommodation Schedule

- First Floor - Master Bedroom/Ensuite
Bedroom 2
Office
House Bathroom
- Second Floor - Bedroom 3
Bedroom 4

GW1
2.030m x 1.300m dp PVCu window, Low E Triple shield double glazed units to specialists design and detail.
Total Area = 2.639m²
Openable Area = 0.000m²



Bedroom Windows
Area = 1.335m²
Area = 1.335m²

Bedroom Windows
Area = 1.869m²
Area = 1.869m²
Landing Window
Area = 1.270m²

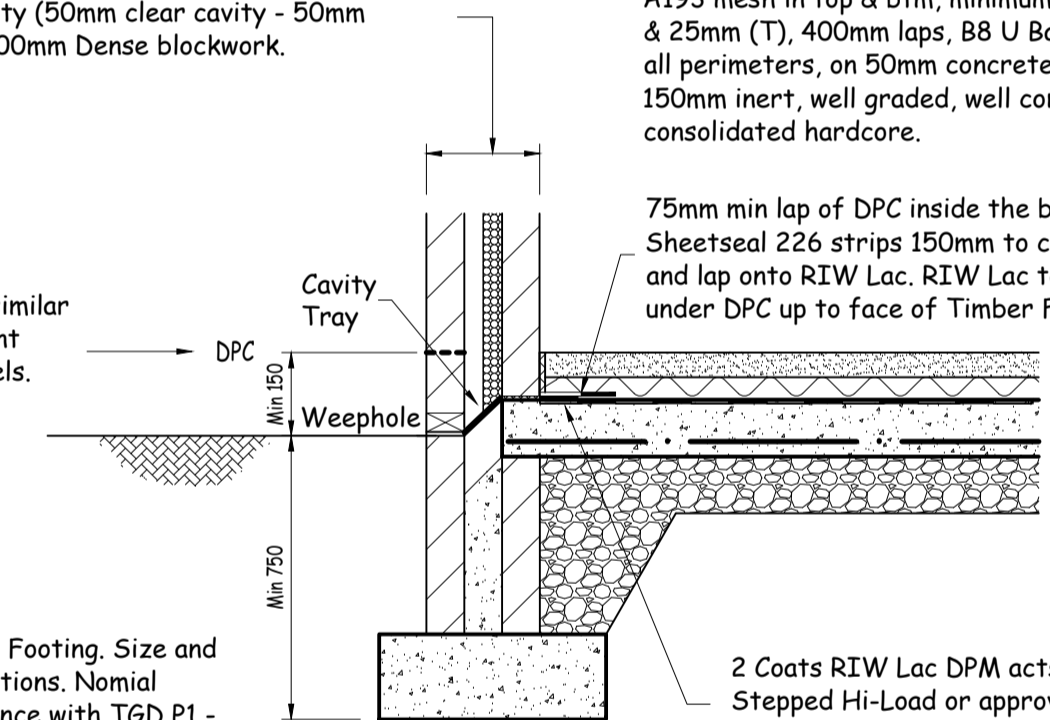
Lounge Window
Area = 2.456m²
Hall Door
Area = 2.422m²
Bay Window
Area = 2.639m²

Summation of UPA's
Area = 15.195m²

FRONT ELEVATION

New cavity wall construction comprising 100mm Dense blockwork, 100mm cavity (50mm clear cavity - 50mm Kingspan Insulation), 100mm Dense blockwork.

Additional Hi-Load or similar approved DPC dependant on external ground levels.



Finishes to RC Slab to be in accordance with Specification details (nom 65mm screed on insulation) on 150mm Reinforced concrete slab, trimmed onto new & old footings and along all perimeters, concrete grade RC35 reinforced with A193 mesh in top & btm, minimum cover 40mm (B) & 25mm (T), 400mm laps, B8 U Bars @ 400c/c to all perimeters, on 50mm concrete blinding, on min 150mm inert, well graded, well compacted consolidated hardcore.

75mm min lap of DPC inside the building line. Sheetseal 226 strips 150mm to cover DPC and lap onto RIW Lac. RIW Lac to be applied under DPC up to face of Timber Frame

New Mass Concrete Strip Footing. Size and depth to suit ground conditions. Nomial 600x250dp. All in accordance with TGD P1 - Structure Table 10. Concrete Grade C30 with Max Aggregate Size 20mm Vibrated Throughout. Formation Level to be Inspected Prior to Placement of Concrete.

Foundation/Radon Detail

Scale 1:20

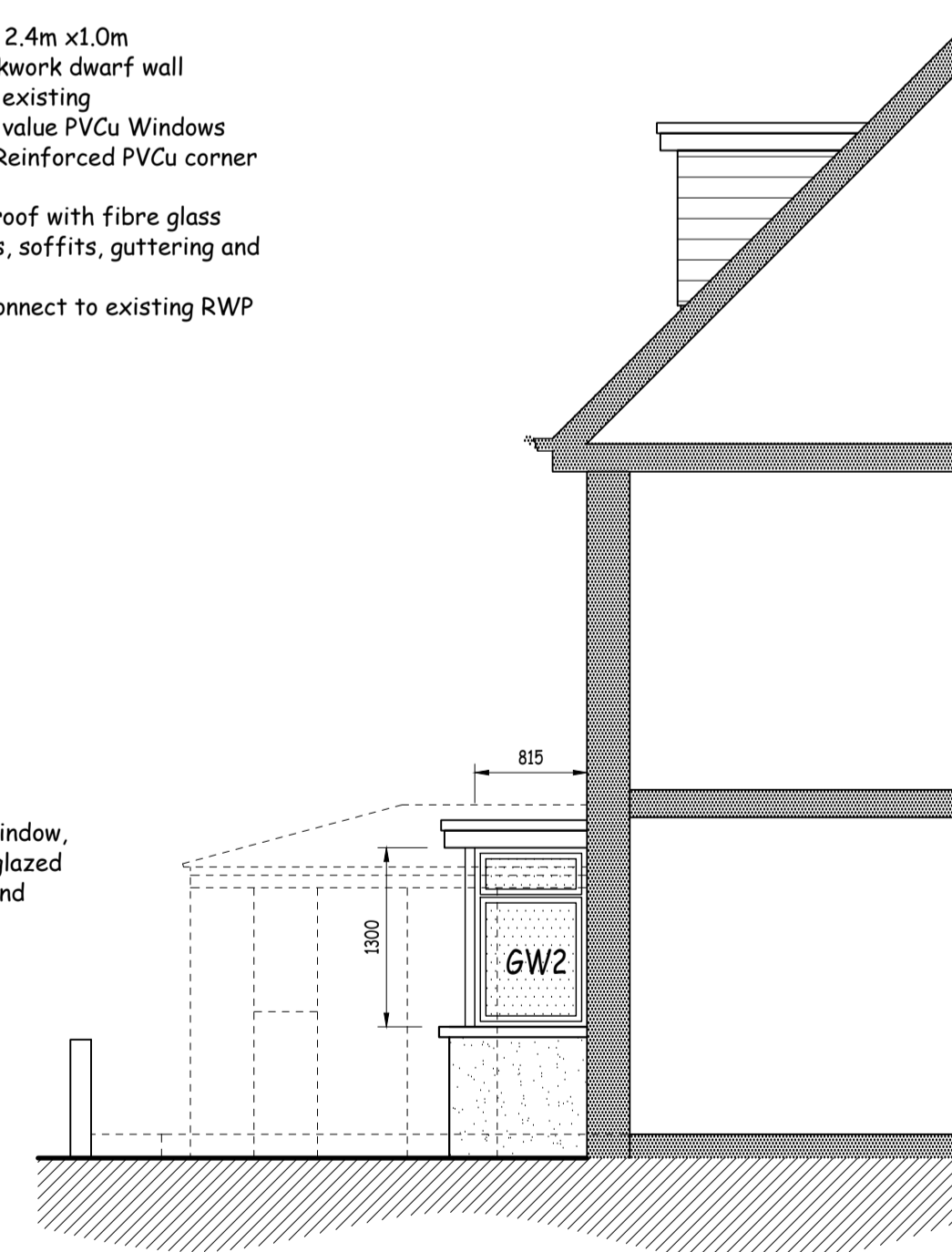
GROUND FLOOR PLAN

Bay Window Details - All as supplied by Millennium Windows & Doors

- Overall Footprint - 2.4m x1.0m
- 800mm Cavity blockwork dwarf wall rendered to match existing
- 1300mm high 1.4 U value PVCu Windows with 4 x openings, Reinforced PVCu corner posts
- Flat insulated bay roof with fibre glass finish, PVCu fascias, soffits, guttering and downpipe.
- New downpipe to connect to existing RWP connection.

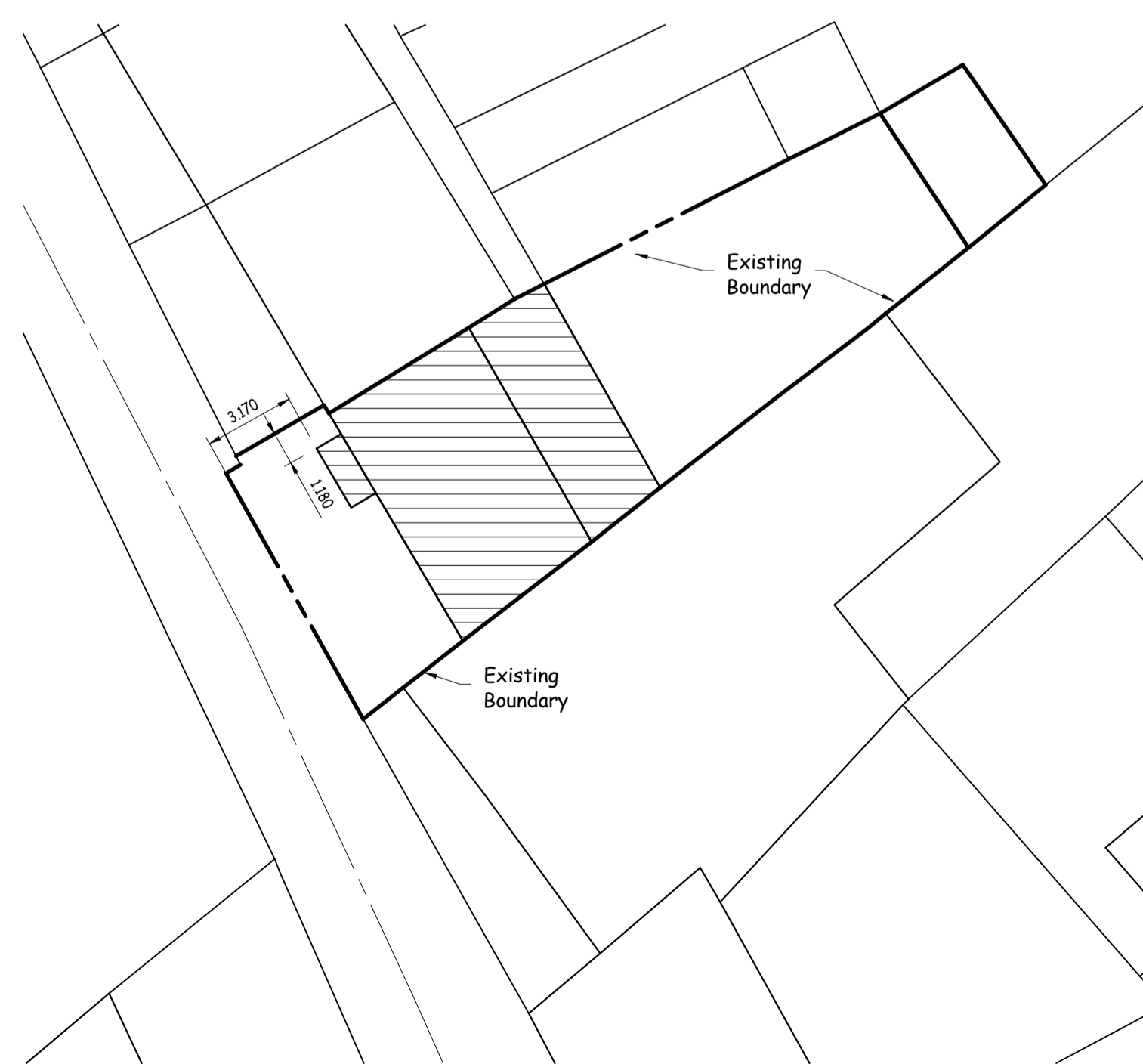
GW2 & 3

0.815m x 1.300m dp PVCu window, Low E Triple shield double glazed units to specialists design and detail.
Total Area = 1.060m²
Openable Area = 0.883m²



SIDE ELEVATION

Opposite Side - Mirrored



SITE PLAN

Scale 1:200

Rev	Revision	Date
Job Title The Brambles La Rue du Hocq St Clement		
Drawing Title BUILDING CONTROL Proposed Plan & Elevation		
White Rock Engineering Consultants Limited Villa du Bonheur, Les Ormes, St Clement, Jersey, JE2 6SQ C.I. Tel : 01534 840259 07797 721260		
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	Aug 23	1:50 @ A1
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