

# ABERDEEN BLIND COMPANY

32 Esslemont Avenue  
Aberdeen  
AB25 1SP  
Tel: 01224 637609  
Fax: 01224 631172  
Email: sales@aberdeen-blinds.co.uk

45841

CUSTOMER ORDER No.

AM PM (MEASURING TIME)

MON		
TUE		
WED		
THU	✓	12-5
FRI		

P/CUST	
NET	
PRESS	
RADIO	
MAG.	
VAN	
RECC.	
SHOP	
TV	
YELL P	
OTHER	

DATE MEASURED/ORDERED  
25/MAY/23

AM PM (FITTING TIME)

MON		
TUE		
WED		
THU		
FRI		

Cust: Burns Cars  
Addr: Crombie Bedroom  
1st Floor Conversion

CURTAINS	
PLEATED	
ROLLERS	
ROMANS	
SHUTTERS	
VENETIAN	
VERTICALS	✓ 46
VISION	
WOODEN	

Tel. h: [redacted]  
Tel. w: [redacted]  
mobile: [redacted]  
email: [redacted]

## ALL BLINDS TO BE PAID FOR AT TIME OF FITTING

Room	Width	Drop	Slat Size	Colour	Control LH or RH	Fitting Height	Any other Instructions	Price
B1000		1290	Plan	Plum White		2600		
B1009								
B1008							See on Plan Above	
B1007							15 Rows	
K.17 SM WC								

alum	anthracite	black	brown	champ-gold	chrome	silver	white	recess size	motorised	wood fix	stone fix	brackets top face
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measured by	fitted by	date	CASH	CHEQUE	SPREE
[Signature]			INVOICE	CARD	

ALL BLINDS MANUFACTURED AFTER 1st APRIL 2014 MUST COMPLY WITH NEW CHILD SAFETY LAWS. SAFETY DEVICES SUPPLIED WITH GOODS MUST BE FITTED BY US AT THE TIME OF INSTALLATION. REFUSAL TO ALLOW A SAFETY DEVICE TO BE FITTED WILL RESULT IN THE BLINDS NOT BEING INSTALLED. UNDER THE TERMS OF THIS CONTRACT YOU WILL BE LIABLE TO ACCEPT DELIVERY AND PAY THE FULL AMOUNT. I have ordered the above goods and agree to pay 50% deposit and the remaining balance on the day of fitting. If payment is not made in full at that time Aberdeen Blinds has the right to remove the goods until full settlement is made. Title of the goods does not pass to the customer until payment has been made in full. Declaring that there shall be no liability for normal damage occasioned by such removal.

TOTAL PRICE £ [redacted] To Be Confirmed

DEPOSIT £ [redacted] PRICE ACCEPTANCE Customer's Signature

BALANCE £ 1292 + vat PO 2023-048-05

Special Instructions [redacted]

**Removals**  
All existing floor finishes and blinds to be removed. Existing light fittings to be removed and replaced as per lighting layout. Affected areas to be made good after removals.

**Windows**  
Existing timber windows to be investigated on site and repaired as necessary. Existing glazing to be replaced with double glazed units, where not already in place. Existing paint finish to be rubbed down and 2 coats of white gloss paint to be applied. Operation of windows to be investigated on site and repaired where necessary to ensure units are operable. New white roller blinds to be fitted once work complete.

**Doors**  
Existing room doors to remain. Lock to stairwell door to be removed, patched (in and fitted) with D handle. Door to be primed, then painted with 2 coats of Crown A3380N.

**Plumbing**  
New multi point water heater to be installed to serve hot water supply to WC & Kitchen, as indicated on plan.

**Existing Radiators**  
Existing radiators to be investigated on site and sealed to ensure all outlets are functioning. Outlets to be repaired where necessary.

**Lighting**  
Existing light fittings to be removed and replaced with 100% energy efficient LED fittings, as indicated.

**Sockets / Switching**  
Sockets and lighting switches to be replaced with grey fittings in accordance with ODA regulations. Existing TV socket facilities to be removed and replaced with blank plates. 1 point each per room.

**Walls & Roofs**  
New dual data point to be installed as indicated on plan.

**Walls & Roofs**  
Existing finishes to be investigated on site and repaired where necessary to provide smooth finish. Walls & roof to be painted with 2 coats of white emulsion paint, stairwell to be finished in 2 coats Crown A86300. Existing drainage to be investigated and replaced where necessary. Drainage cap and electrical supply to be replaced. Surfaces to be made good.

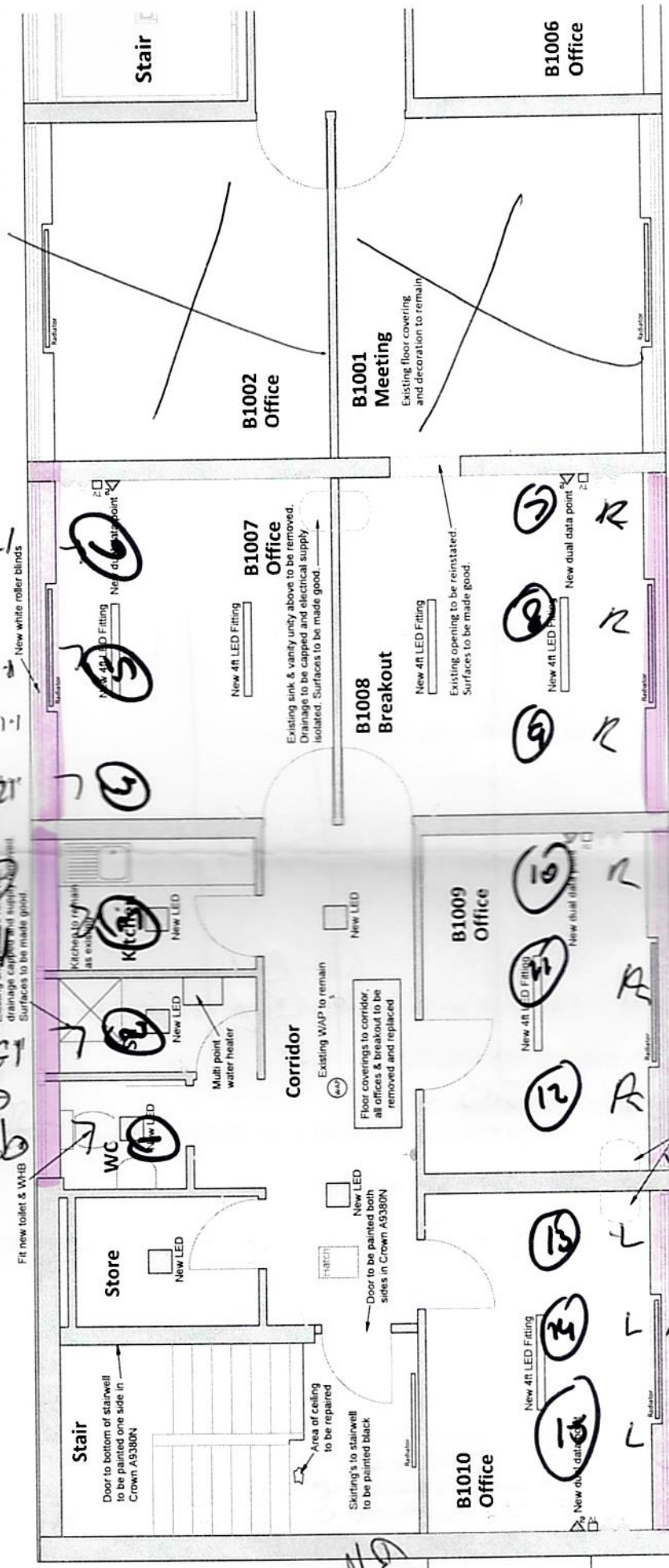
**Woodwork / Door Frames**  
Existing skirting's to be filled where necessary, rubbed down and painted with 2 coats of gloss paint, colour black to stairwell and white to corridor / office. Facings to be painted white.

**Radiators**  
All radiators to be painted to match wall colour.

**Floor Finish**  
Floor finish to be from Milliken Laylines, colour jet.

- Existing Electrics**
- Light Switch
  - Double Socket
  - Data Point
  - Smoke Alarm

- Proposed Electrical Requirements**
- 2<sup>o</sup> Dado Mounted Dual Data Outlet
  - Pendant LED fitting
  - 4ft LED Light Fitting



Project Name		ACH 21168	
Building Ref		ACH 21168	
Project Number		ACH 21168	
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Project Title		Conversion to Offices	
Building Name		Crombie Halls	
Drawing Title		B-Block IDR	
Purpose		Detailed	
Drawn By		JN/01/23	
Checked		AK	
Date		21/01/23	
Scale		A	

**Part First Floor Plan - B Block**  
Scale 1:50

Handwritten notes on the plan include:  
 - "1760" near B1007 Office  
 - "1760" near B1008 Breakout  
 - "1760" near B1009 Office  
 - "1760" near B1010 Office  
 - "1760" near B1002 Office  
 - "1760" near B1001 Meeting  
 - "1760" near B1006 Office  
 - "1760" near Stair  
 - "1760" near Store  
 - "1760" near WC  
 - "1760" near Kitchen  
 - "1760" near Corridor  
 - "1760" near various electrical symbols

Straw  
10009 81 (23) 98  
81 (23) 98  
98 143

b/o  
98 98  
143

339

1010 81 98  
81 98  
98 143

1008 81 98  
81 98  
98 143

1007 81 98  
81 98  
98 143

WC 81 98

S4 81 98

Mixer 98 143

## Steven Nimmo

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**From:** Pam Douglas <pdouglas@burnsconstruction.net>  
**Sent:** 25 May 2023 09:49  
**To:** Steven Nimmo  
**Cc:** David Coutts; Gatis Barinovs; Neil Houston  
**Subject:** Crombie B 1st Floor Refurb - Acceptance  
**Attachments:** ABDN BLIND : 21168ACH\_Crombie B-Block First Floor Refurbishment; Construction Programme RevA - Crombie B 1st Floor Refurb.pdf

Good Morning Steve,

Further to your earlier email with regards to the above, we wish to proceed with your quotation amounting to £1,292.00 plus VAT, copy attached for your reference. This is based on Chain Operated Roller Blinds.

Please find attached Programme of Works in relation to same.

Please use PO No. 7023-048-05 and quote this number on all correspondence. Please liaise with our Gatis Barinovs with regards to access on site, delivery timescales etc.

Please forward your RAMS at your earliest convenience.

Should you have any queries on the above or attached, please do not hesitate to contact the undersigned.

Kind Regards,

Pamela Douglas  
Senior Contracts Administrator  
Burns Construction (Aberdeen) Limited

Head Office: 5 York Street, Aberdeen, AB11 5DL  
Telephone: 01224 564020  
Facsimile: 01224 211632  
Direct Line: 01224 564026  
Email: [pdouglas@burnsconstruction.net](mailto:pdouglas@burnsconstruction.net)